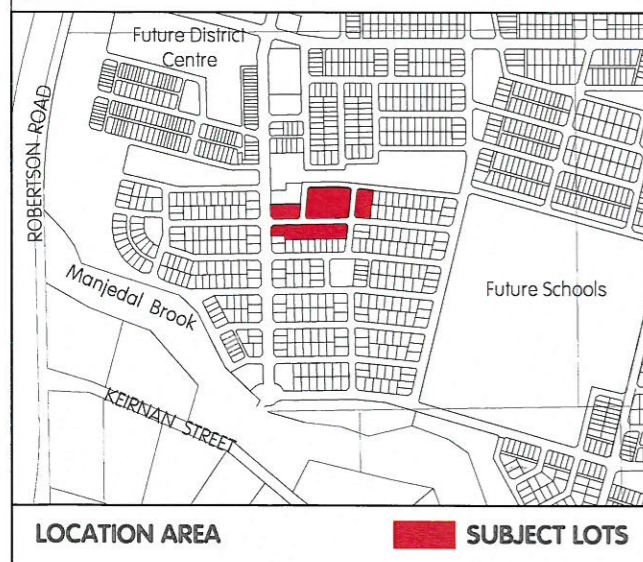




LOCAL DEVELOPMENT PLAN PROVISIONS

- The Residential Density Code for each lot is as per the Residential Density Code Plan.
- SCHEME & RESIDENTIAL DESIGN CODE VARIATIONS**
- The requirements of the Residential Design Codes are varied as follows.
 - All other requirements of the Residential Design Codes shall be complied with.
 - Consultation with adjoining or other landowners to achieve a variation to the R Codes, in accordance with the Local Development Plan (LDP), is not required.
 - Planning Approval is only required where variations to the provisions of this LDP are sought.
 - Minor variations to the requirements of the Residential Design Codes and this LDP may be approved by the Shire of Serpentine-Jarrahdale.
- VISUAL AMENITY AND STREETScape REQUIREMENTS**
- Averaging of setbacks is not permitted.
 - At least one habitable room must be located to provide overlooking and surveillance in accordance with building orientation.
 - A verandah or portico (subject to the Building Code of Australia) may project not more than 1.5m into the dwelling setback.
 - Where building orientation is specified, fences shall be visually permeable above 1.2m in height.
 - Corner dwellings and fencing must address the both frontages in accordance with provisions 8, 9 and 10 (as applicable) for not less than 4.5m of the secondary frontage.
 - Garages with direct frontage to a street must be setback 1.0m behind the dwelling building line.
 - For corner lots less than 16m in width, where access is proposed from the primary frontage, building may be set back up to 2.5m behind the garage provided that a portico, verandah or other entry feature, not less than 2.5m wide, is proposed within 750mm of the building line of the garage.
- OPEN SPACE REQUIREMENTS**
- For all lots a minimum open space requirement is 40%, to be maintained for each dwelling where buildings are generally oriented to maximise northern or eastern solar access



Endorsement Table
 Local Development Plan approved pursuant to Clause 5.18.5.1 (c) of Town Planning Scheme No 2

[Signature]
 Authorised Officer

23.10.2015
 Date

- LEGEND**
- Subject Site
 - Subject Lot Boundary
 - Surrounding Lot Boundaries
 - Dwelling Setbacks
 - Density Code (R20)
 - Garage Orientation
 - Building Orientation
 - No Vehicle Access

DISCLAIMER: ISSUED FOR DESIGN INTENT ONLY. ALL AREAS AND DIMENSIONS ARE SUBJECT TO DETAIL DESIGN AND SURVEY